

# FOREST HEIGHTS

A PORTION OF THE N.E. 1/4 AND THE S.E. 1/4 SECTION 29, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M.  
CITY OF ISSAQUAH, KING COUNTY, WASHINGTON

## DECLARATION

KNOW ALL MEN BY THESE PRESENTS THAT WE THE UNDERSIGNED OWNER(S) OF THE LAND HEREIN DESCRIBED DO HEREBY MAKE A SHORT PLAT THEREOF PURSUANT TO RCW 58.17.060 AND DECLARE THIS SHORT PLAT TO BE THE GRAPHIC REPRESENTATION OF THE SAME, AND THAT SAID SHORT PLAT IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER(S) IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.

FURTHER, WE HEREBY DEDICATE FOR PUBLIC USE TO THE CITY OF ISSAQUAH ALL PUBLIC ROADS WHICH ARE SHOWN HEREON.

JOSEPH R. AMEDSON

SUSAN T. RAISI

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT

SIGNED THIS DECLARATION AND ACKNOWLEDGED IT TO BE (HIS/HER) FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED \_\_\_\_\_  
SIGNATURE OF \_\_\_\_\_  
NOTARY PUBLIC \_\_\_\_\_  
PRINTED NAME OF \_\_\_\_\_  
NOTARY PUBLIC \_\_\_\_\_  
TITLE \_\_\_\_\_  
MY APPOINTMENT EXPIRES \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT

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PRINTED NAME OF \_\_\_\_\_  
NOTARY PUBLIC \_\_\_\_\_  
TITLE \_\_\_\_\_  
MY APPOINTMENT EXPIRES \_\_\_\_\_

## LEGAL DESCRIPTION

LOT B, CITY OF ISSAQUAH LOT LINE ADJUSTMENT NO. PLN01-00040, RECORDED UNDER RECORDING NO. 20011016900007, AND APPROVED UNDER RECORDING NUMBER 20011016000248 IN KING COUNTY, WASHINGTON.

## SPECIAL EXCEPTIONS

CHICAGO TITLE INSURANCE COMPANY  
GUARANTEE/CERTIFICATE NO. 0003763-06

1. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SHOWN IN THE DOCUMENT

RECORDING DATE: FEBRUARY 28, 1968  
RECORDING NO.: 6310435  
PURPOSE: INGRESS, EGRESS AND UTILITIES  
AFFECTS: SOUTHEASTERLY PORTION OF SAID PREMISES AND OTHER PROPERTY

SAID INSTRUMENT CONTAINS A PROVISION FOR BEARING THE COST OF MAINTENANCE, REPAIR OR RECONSTRUCTION OF SAID EASEMENT BY THE COMMON USERS.

SAID EASEMENT IS AMENDED BY INSTRUMENT RECORDED UNDER RECORDING NO. 20060822000709.

2. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES AND STATEMENTS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON:

CITY OF ISSAQUAH LLA NO. PLN00-00053

RECORDING NO: 20000801900002

3. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES AND STATEMENTS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON:

CITY OF ISSAQUAH LLA NO. PLN01-00040

RECORDING NO: 20011016900007  
AND APPROVED UNDER RECORDING NUMBER 20011016000248

4. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: OLY/INTRACORP GENERAL PARTNERSHIP, A DELAWARE GENERAL PARTNERSHIP  
PURPOSE: UTILITIES  
RECORDING DATE: MARCH 14, 2001  
RECORDING NO.: 20010314000421  
AFFECTS: WESTERLY PORTION OF SAID PREMISES

SAID UTILITY EASEMENT IS AMENDED BY INSTRUMENT RECORDED UNDER RECORDING NO. 20051212001238.

SAID EASEMENT IS ASSIGNED BY INSTRUMENT RECORDED UNDER RECORDING NO. 20060302000639.

5. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: CITY OF ISSAQUAH  
PURPOSE: UTILITIES  
RECORDING DATE: JANUARY 12, 2007  
RECORDING NO.: 20070112000593  
AFFECTS: NORTHWESTERLY CORNER OF SAID PREMISES

6. RESERVATIONS AND RECITALS CONTAINED IN THE DEED AS SET FORTH BELOW:

GRANTOR(S): RAYMOND D. OGDEN AND EMMA E. OGDEN, HIS WIFE; RAYMOND D. OGDEN, TRUSTEE, AND EDWARD BRADY AND LEOTA BRADY, HIS WIFE

RECORDING DATE: NOVEMBER 29, 1927  
RECORDING NO.: 2425822

SAID DOCUMENTS RESERVE AND PROVIDE FOR, AMONG OTHER THINGS, THE FOLLOWING:  
COAL AND MINERAL RIGHTS

7. AGREEMENT FOR CLUSTER HOUSING DEVELOPMENT AND THE TERMS AND CONDITIONS THEREOF:

EXECUTED BY: OWNERS AND CITY OF ISSAQUAH  
RECORDING DATE: SEPTEMBER 24, 2012  
RECORDING NO.: 20120924000896

13. MATTERS DISCLOSED BY A SURVEY OF SAID PREMISES BY ENCOMPASS ENGINEERING AND SURVEYING, DATED JUNE 6, 2014 UNDER JOB NO. 14581, AS FOLLOWS:

A. LOCATION OF A BLOCK WALL, CYCLONE FENCE AND ROCKERY IN RELATION TO THE WESTERLY PROPERTY LINE, AND ANY ADVERSE RIGHTS STEMMING THEREOF.

B. ENCROACHMENT OF A ROCKERY ALONG A WESTERLY PORTION OF THE SOUTHERLY PROPERTY LINE.

## CITY OF ISSAQUAH APPROVALS

EXAMINED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_

LAND DEVELOPMENT MANAGER

EXAMINED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_

PUBLIC WORKS DIRECTOR

## CITY OF ISSAQUAH FINANCE DEPARTMENT CERTIFICATE

I HEREBY CERTIFY THAT ALL ASSESSMENTS FOR WHICH THE PROPERTY HEREIN DEDICATED FOR PUBLIC USE MAY BE LIABLE AS OF THE DATE OF CERTIFICATION HAVE BEEN DULY PAID, SATISFIED OR DISCHARGED.

THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_

CITY OF ISSAQUAH FINANCE DIRECTOR

EXAMINED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_

ATTEST: \_\_\_\_\_  
FRED BUTLER  
MAYOR, CITY OF ISSAQUAH

CLERK OF THE CITY OF ISSAQUAH

## KING COUNTY DEPARTMENT OF ASSESSMENTS

EXAMINED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_

KING COUNTY ASSESSOR

DEPUTY COUNTY ASSESSOR

TAX PARCEL NO. 292406-9039

## KING COUNTY FINANCE DIVISION CERTIFICATE

I HEREBY CERTIFY THAT ALL PROPERTY TAXES ARE PAID, THAT THERE ARE NO DELINQUENT SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION AND THAT ALL SPECIAL ASSESSMENTS CERTIFIED TO THIS OFFICE FOR COLLECTION ON ANY OF THE PROPERTY HEREIN CONTAINED, DEDICATED AS STREETS, ALLEYS OR FOR ANY OTHER PUBLIC USE ARE PAID IN FULL.

EXAMINED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_

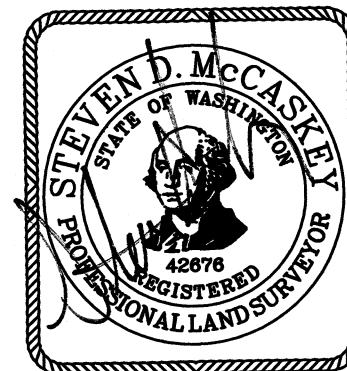
MANAGER, FINANCE DIVISION

DEPUTY

## SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS FOREST HEIGHTS FINAL PLAT, IS BASED UPON AN ACTUAL SURVEY AND SUBDIVISION OF SECTION 29, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M.; THAT ALL COURSES AND DISTANCES ARE SHOWN CORRECTLY THEREON; THAT THE MONUMENTS WILL BE SET AND THE LOT AND TRACT CORNERS WILL BE STAKED CORRECTLY ON THE GROUND AS CONSTRUCTION IS COMPLETED AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF THE PLATTING REGULATIONS.

STEVEN D. McCASKEY PLS# 42676



## TRACT NOTES

1. TRACTS E, G AND H ARE HEREBY CONVEYED TO THE FOREST HEIGHTS HOMEOWNERS ASSOCIATION (HOA). TRACTS E, G AND H ARE FOR THE PURPOSE OF PROTECTING STEEP SLOPES. THE HOA SHALL HAVE LONG-TERM MAINTENANCE RESPONSIBILITIES CONSISTENT WITH THE "RESTRICTIONS FOR NATIVE GROWTH PROTECTION EASEMENT".

RESTRICTIONS FOR NATIVE GROWTH PROTECTION EASEMENT (NGPE) CONVEYS TO THE PUBLIC A BENEFICIAL INTEREST IN THE LAND WITHIN THE NGPE. THIS INTEREST INCLUDES THE PRESERVATION OF NATIVE VEGETATION FOR ALL PURPOSES THAT BENEFIT THE PUBLIC HEALTH, SAFETY AND WELFARE, INCLUDING CONTROL OF SURFACE WATER AND EROSION, MAINTENANCE OF SLOPE STABILITY, AND PROTECTION OF PLANT AND ANIMAL HABITAT. THE SENSITIVE AREA TRACT IMPOSES UPON ALL PRESENT AND FUTURE OWNERS AND OCCUPIERS OF THE LAND SUBJECT TO THE TRACT THE OBLIGATION, ENFORCEABLE ON BEHALF OF THE PUBLIC BY THE CITY OF ISSAQUAH, TO LEAVE UNDISTURBED ALL TREES AND OTHER VEGETATION WITHIN THE TRACT. THE VEGETATION WITHIN THE TRACT MAY NOT BE PRUNED, COVERED BY FILL, REMOVED OR DAMAGED WITHOUT APPROVAL IN WRITING FROM THE CITY OF ISSAQUAH OR ITS SUCCESSOR AGENCY, UNLESS OTHERWISE PROVIDED BY LAW. THE CITY, WHEN PERMITTING THE CUTTING, PRUNING OR REMOVAL OF LIVING OR DEAD VEGETATION, SHALL CONSIDER DEMONSTRATED HEALTH AND SAFETY CONCERNS.

THE COMMON AREA BETWEEN THE EASEMENT AND THE AREA OF DEVELOPMENT ACTIVITY SHALL BE MARKED OR OTHERWISE FLAGGED TO THE SATISFACTION OF THE CITY OF ISSAQUAH PRIOR TO ANY CLEARING, GRADING, BUILDING CONSTRUCTION OR OTHER DEVELOPMENT ACTIVITY ON A LOT SUBJECT TO THE EASEMENT. THE REQUIRED MARKING OR FLAGGING SHALL REMAIN IN PLACE UNTIL ALL DEVELOPMENT PROPOSAL ACTIVITIES IN THE VICINITY OF THE SENSITIVE AREA ARE COMPLETED.

NO BUILDING FOUNDATIONS OR STRUCTURES ARE ALLOWED WITHIN THE 15-FOOT BUILDING SETBACK (BSBL) FROM THE CRITICAL AREA TRACTS.

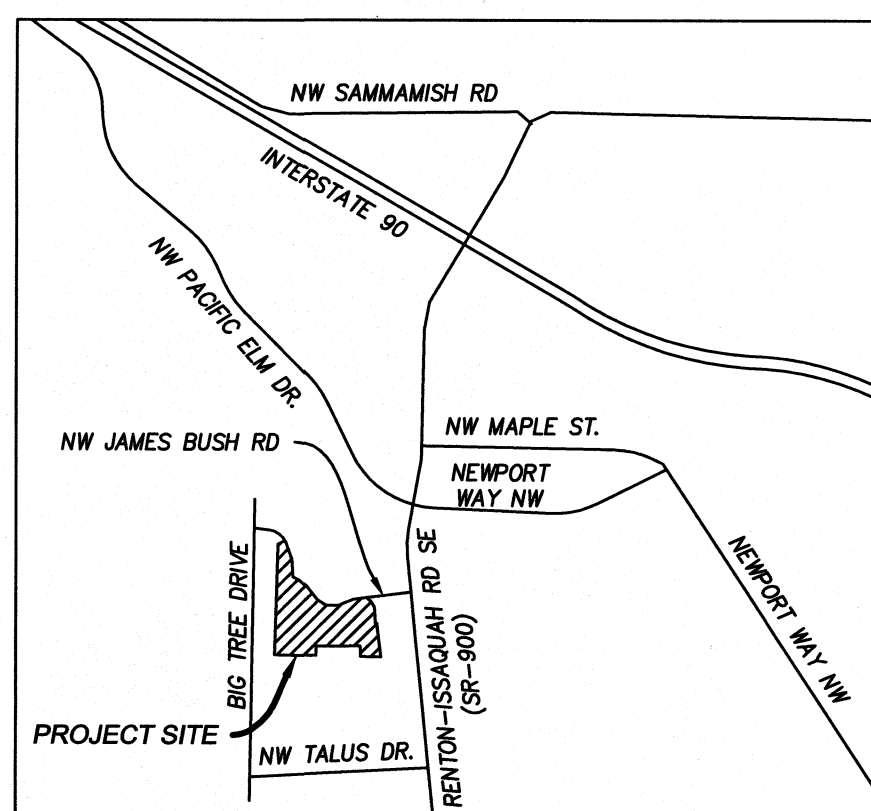
2. TRACTS A AND D ARE HEREBY CONVEYED TO THE CITY OF ISSAQUAH FOR STORMWATER PURPOSES.
3. TRACTS B, C AND F ARE HEREBY CONVEYED TO THE FOREST HEIGHTS HOMEOWNERS ASSOCIATION (HOA) FOR USEABLE OPEN SPACE.
4. TRACT I IS RETAINED BY THE OWNER AS A FUTURE DEVELOPMENT TRACT.

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DWN BY LFM	DATE 05/14/15	JOB NO. 14581 REF: 14568
CHKD BY SDM	SCALE N/A	SHEET 1 OF 4

A PORTION OF THE N.E. 1/4 AND THE S.E. 1/4 SECTION 29, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M.  
CITY OF ISSAQUAH, KING COUNTY, WASHINGTON



VICINITY MAP  
N.T.S.



05 25 50 100

SCALE 1" = 100'

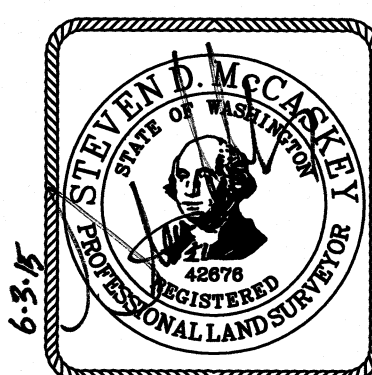
# Encompass

ENGINEERING & SURVEYING

The logo for Encompass Engineering & Surveying features the company name in a large, bold, serif font. Below the name, the words "ENGINEERING & SURVEYING" are written in a smaller, all-caps, sans-serif font. To the right of the text is a stylized graphic element consisting of a thick, curved line that forms a partial circle or arc, with a small, dark, triangular shape at its end, resembling a compass needle or a stylized letter 'A'.

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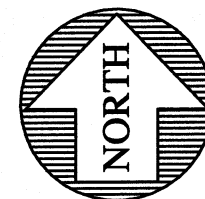
DWN BY LFM	DATE 05/14/15	JOB NO. 14581 REF: 14568
CHKD BY SDM	SCALE 1"=100'	SHEET 2 OF 4



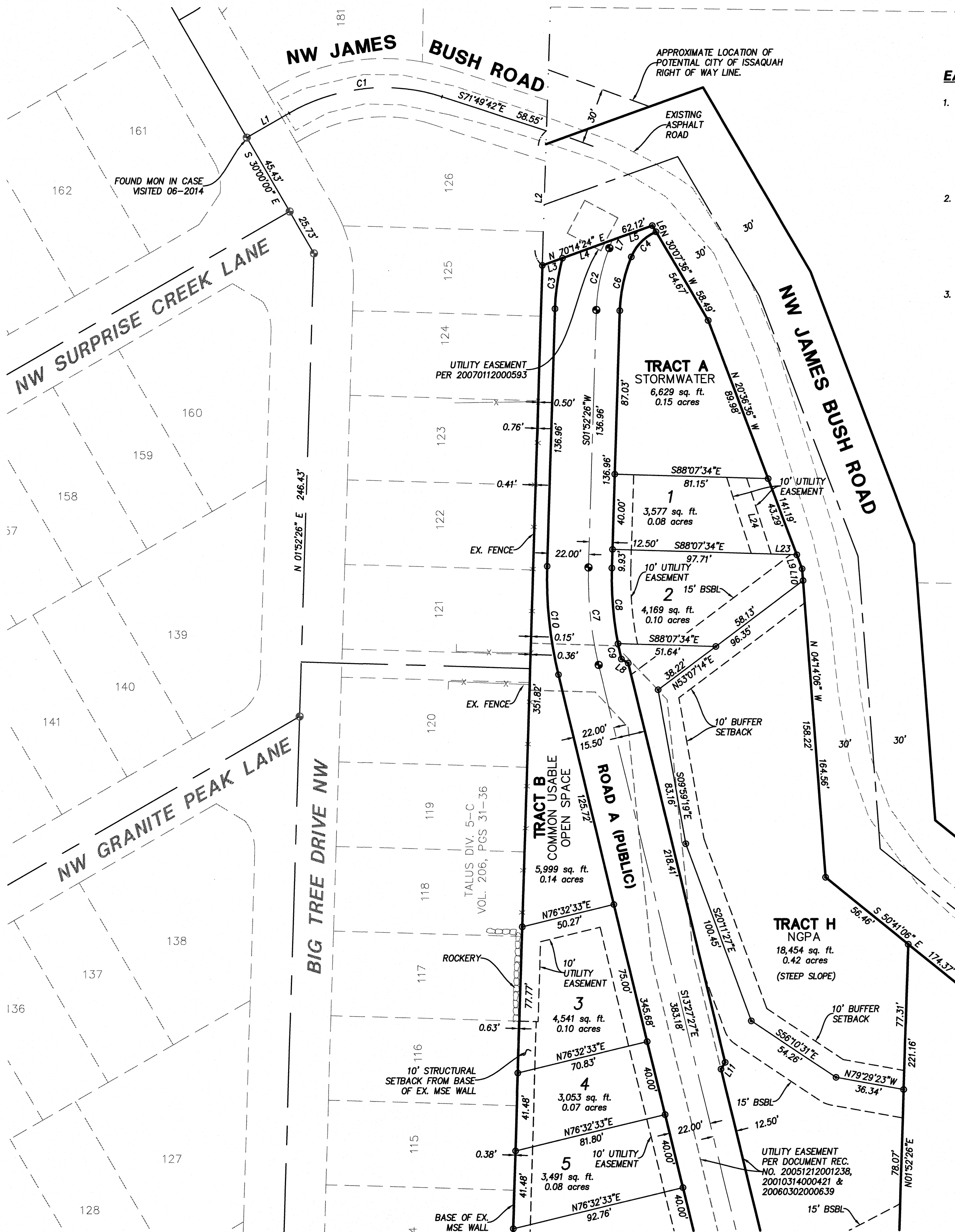


# FOREST HEIGHTS

A PORTION OF THE N.E. 1/4 AND THE S.E. 1/4 SECTION 29, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M.  
CITY OF ISSAQUAH, KING COUNTY, WASHINGTON



0 10 20 40  
SCALE 1" = 40'



## EASEMENT PROVISIONS

1. THE 10' PRIVATE UTILITY EASEMENT ON LOTS 3-7 ARE FOR THE BENEFIT OF LOTS 3-7 FOR CONSTRUCTION AND MAINTENANCE OF STORM AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVICING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.
2. THE 10' PRIVATE UTILITY EASEMENT ON THE FRONTS OF LOTS 1-2 ARE FOR THE BENEFIT OF LOTS 1-2 FOR CONSTRUCTION AND MAINTENANCE OF STORM AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVICING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.
3. THE 10' PRIVATE UTILITY EASEMENT ON THE BACK OF LOT 1 IS FOR THE BENEFIT OF LOTS 1-2 FOR CONSTRUCTION AND MAINTENANCE OF STORM AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVICING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.

LINE TABLE		
LINE	LENGTH	BEARING
L1	25.92	N60°00'00"E
L2	71.67	N01°52'26"E
L3	11.46	N70°14'24"E
L4	28.12	N70°14'24"E
L5	22.54	N70°14'24"E
L6	3.82	S30°07'36"E
L7	4.52	N19°34'03"E
L8	4.24	S58°27'27"E
L9	7.91	S20°36'36"E
L10	6.34	S04°14'06"E
L11	4.24	S31°32'33"W
L23	13.73	N88°07'34"W
L24	42.46	N17°44'23"W

CURVE TABLE			
CURVE	LENGTH	DELTA	RADIUS
C1	84.08	48°10'18"	100.00
C2	33.81	20°17'01"	95.50
C3	27.29	13°18'24"	117.50
C4	19.11	44°42'05"	24.50
C6	29.38	20°17'02"	83.00
C7	52.31	15°19'53"	195.50
C8	40.40	12°38'52"	183.00
C9	8.36	2°37'08"	183.00
C10	58.20	15°19'53"	217.50

- MONUMENT TO BE SET
- REBAR & CAP TO BE SET

## BASIS OF BEARING:

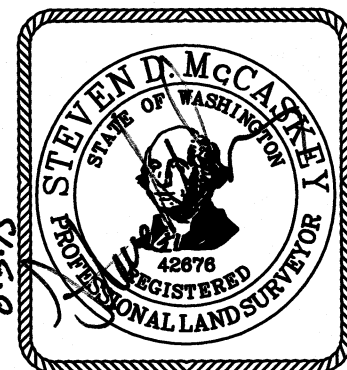
WASHINGTON NORTH ZONE NAD '83  
(TALUS DIV. A VOL 201, PGS 38-50)

## SURVEY NOTE:

ORIGINAL SURVEY WAS PROVIDED BY TRIAD ASSOCIATES. BOUNDARY WAS VERIFIED BY ENCOMPASS ENGINEERING & SURVEYING

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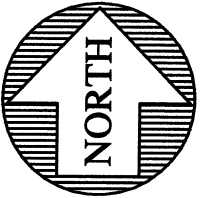
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DWN BY	LFM	DATE	05/14/15	JOB NO.	14581
CHKD BY	SDM	SCALE	1"=40'	SHEET	REF: 14568
					3 OF 4

# FOREST HEIGHTS

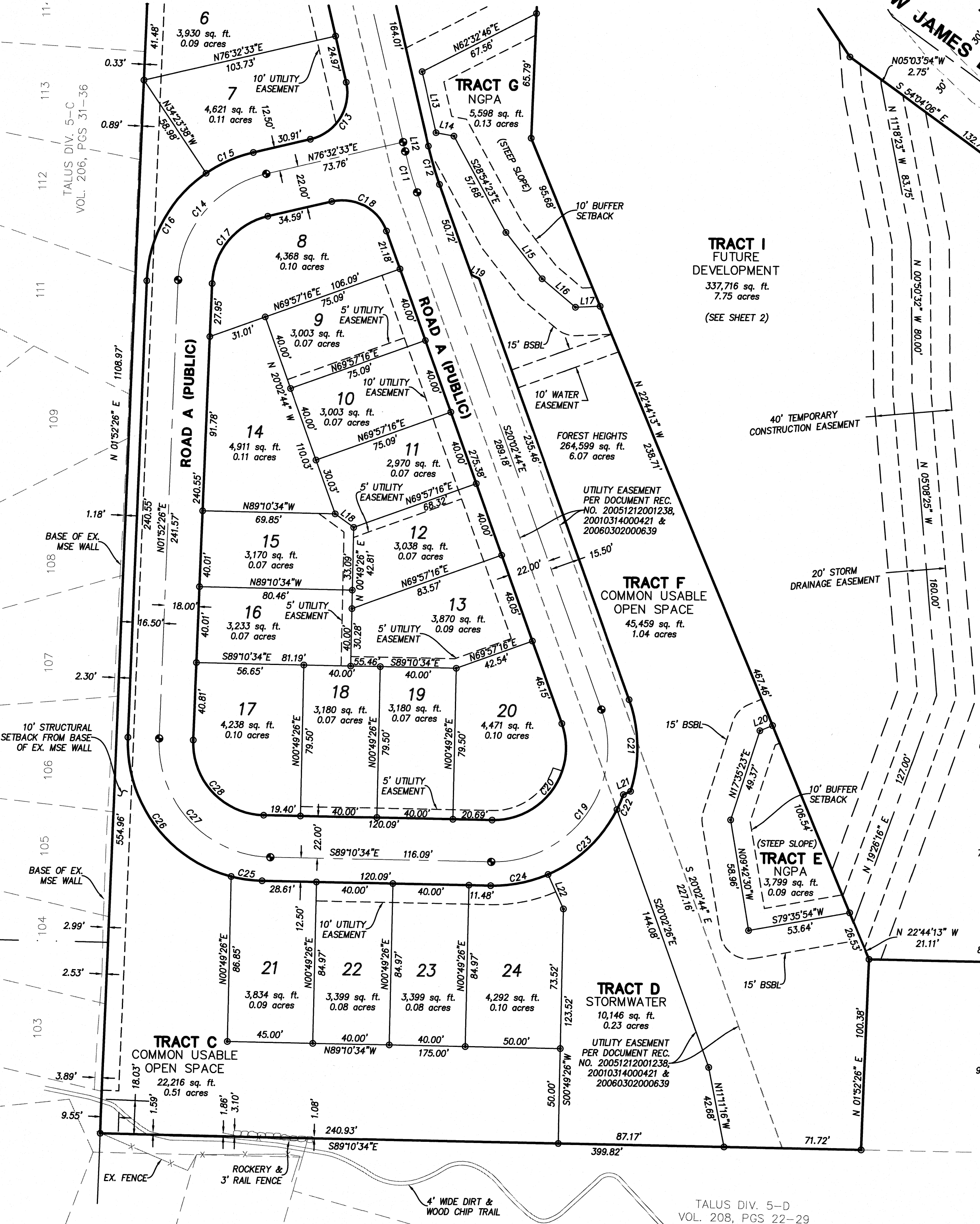
A PORTION OF THE N.E. 1/4 AND THE S.E. 1/4 SECTION 29, TOWNSHIP 24 NORTH, RANGE 6 EAST, W.M.  
CITY OF ISSAQUAH, KING COUNTY, WASHINGTON



SCALE 1" = 40'

SEE SHEET 3

NW JAMES BUSH ROAD



## EASEMENT PROVISIONS

1. THE 10' PRIVATE UTILITY EASEMENT ON THE FRONTS OF LOTS 9-13 ARE FOR THE BENEFIT OF LOTS 8-20 FOR CONSTRUCTION AND MAINTENANCE OF STORM, SEWER AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.
2. THE 10' PRIVATE UTILITY EASEMENT ON THE FRONTS OF LOTS 22-24 ARE FOR THE BENEFIT OF LOTS 21-24 FOR CONSTRUCTION AND MAINTENANCE OF STORM AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.
3. THE 5' PRIVATE UTILITY EASEMENT ON LOT 9 IS FOR THE BENEFIT OF LOT 14 FOR CONSTRUCTION AND MAINTENANCE OF STORM, SEWER AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.
4. THE 5' PRIVATE UTILITY EASEMENT ON LOT 12 IS FOR THE BENEFIT OF LOTS 14-16 FOR CONSTRUCTION AND MAINTENANCE OF STORM, SEWER AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.
5. THE 5' PRIVATE UTILITY EASEMENT ON LOT 13 IS FOR THE BENEFIT OF LOTS 15-19 FOR CONSTRUCTION AND MAINTENANCE OF STORM, SEWER AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.
6. THE 5' PRIVATE UTILITY EASEMENT ON THE FRONTS OF LOTS 18-20 ARE FOR THE BENEFIT OF LOTS 17-20 FOR CONSTRUCTION AND MAINTENANCE OF STORM AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.
7. THE 10' PRIVATE UTILITY EASEMENT ON LOTS 3-7 ARE FOR THE BENEFIT OF LOTS 3-7 FOR CONSTRUCTION AND MAINTENANCE OF STORM AND OTHER UTILITY LINES. EACH LOT OWNER IS RESPONSIBLE FOR UTILITY LINES SERVING THEIR LOT. AFFECTED LOT OWNERS ARE JOINTLY RESPONSIBLE FOR UTILITY LINES USED IN COMMON. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.
8. THE 20' PUBLIC STORM DRAINAGE EASEMENT ON TRACT I IS FOR THE BENEFIT OF THE CITY OF ISSAQUAH FOR CONSTRUCTION AND MAINTENANCE OF STORM LINES, STRUCTURES AND FACILITIES. THE ASSOCIATED 40' TEMPORARY CONSTRUCTION EASEMENT IS FOR THE INITIAL CONSTRUCTION OF THE STORM LINES, STRUCTURES AND FACILITIES WITHIN THE 20' PUBLIC STORM DRAINAGE EASEMENT. THIS TEMPORARY EASEMENT SHALL TERMINATE AND EXPIRE WHEN THE INITIAL CONSTRUCTION IS COMPLETED, OR FIVE YEARS AFTER THE RECORDING OF THIS DOCUMENT, WHICHEVER COMES FIRST.
9. THE 10' PRIVATE WATER EASEMENT ON TRACT F IS FOR THE BENEFIT OF TRACT I FOR CONSTRUCTION AND MAINTENANCE OF WATER METERS AND LINES. THE COVENANTS HEREIN SHALL RUN WITH THE LAND AND SHALL FOREVER BE BINDING UPON ALL PARTIES, THEIR HEIRS, SUCCESSORS AND ASSIGNS.

## BASIS OF BEARING:

WASHINGTON NORTH ZONE NAD '83  
(TALUS DIV. A VOL 201, PGS 38-50)

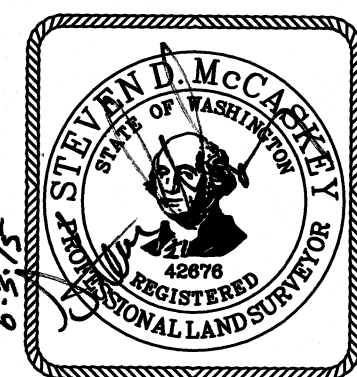
## SURVEY NOTE:

ORIGINAL SURVEY WAS PROVIDED BY TRIAD ASSOCIATES.  
BOUNDARY WAS VERIFIED BY ENCOMPASS ENGINEERING & SURVEYING

LINE	LENGTH	BEARING
L12	5.03	S13°27'27"E
L13	33.00	S13°27'27"E
L14	9.61	S79°39'38"E
L15	30.94	S38°20'27"E
L16	23.07	S49°51'27"E
L17	12.96	N87°20'32"E
L18	12.05	S54°11'41"E
L19	4.24	S65°02'44"E
L20	7.16	N67°15'47"E
L21	4.17	N64°17'25"E
L22	19.87	S24°23'05"E

CURVE	LENGTH	DELTA	RADIUS
C11	22.48	6°35'18"	195.50
C12	21.04	6°35'17"	183.00
C13	39.27	90°00'00"	25.00
C14	78.19	74°40'07"	60.00
C15	27.39	21°38'59"	72.50
C16	67.09	53°01'08"	72.50
C17	49.52	74°40'07"	38.00
C18	35.67	83°24'43"	24.50
C19	116.10	110°52'10"	60.00
C20	73.53	110°52'10"	38.00
C21	49.09	37°15'14"	75.50
C22	8.56	6°45'54"	72.50
C23	50.75	40°06'31"	72.50
C24	31.00	24°29'46"	72.50
C25	16.53	13°03'58"	72.50
C26	98.68	77°59'02"	72.50
C27	95.35	91°03'01"	60.00
C28	60.39	91°03'00"	38.00

- MONUMENT TO BE SET
- REBAR & CAP TO BE SET



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CHKD BY	SDM	SCALE	1"=40'	REF:	14568
				SHEET	4 OF 4